

BASIS OF BEARING
(HORIZONTAL DATUM: NAD 83)
N00°22'02"E BETWEEN CITY OF EVERETT SURVEY CONTROL POINTS "INCA 7" AND "INCA 8"

UTILITY NOTES
IN PROVIDING THIS SURVEY, NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING CONDITION OR CAPACITY OF ANY UTILITY EXISTING ON THIS SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.
UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THE SITE. UTILITY LOCATIONS SHOWN HEREON ARE TAKEN FROM OBSERVED EVIDENCE AND MARKINGS BY UTILITY COMPANIES. UNDERGROUND UTILITY LOCATIONS ARE ONLY APPROXIMATE. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN VISIBLE SURFACE LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. FIELD VERIFICATION IS NECESSARY PRIOR TO OR DURING ANY CONSTRUCTION.
SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.

IMPROVEMENT NOTES
TAX PARCEL 004390-763-023-00, 004390-763-025-00, 004390-763-027-00, 004390-763-030-00 AND 004390-763-031-00.
(TOTAL PARCEL AREA = 27,078 S.F./0.62 AC)

BENCHMARK
CITY OF EVERETT SURVEY CONTROL POINT "INCA 7", A 2" BRASS DISK STAMPED "INCA 7", SET IN A DRILL HOLE IN THE 13" WIDE SLOPED CONC CURB ON THE EAST SIDE OF THE ISLAND IN THE CENTER OF INTERSECTION OF 33RD ST AND LOMBARD AVE (E.L.=115.00')

SURVEY REFERENCES
P - PLAT OF THE EVERETT LAND COMPANY'S FIRST ADDITION TO EVERETT VOL. 3, P. 20
R - RECORD OF SURVEY # 7806220464
RI - RECORD OF SURVEY # 200208050005
CITY OF EVERETT SURVEY CONTROL DATA SHEETS 664-06-01, 664-07-01, INCA 7 AND INCA 8

LEGAL DESCRIPTION
PER COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, 2707 COLBY AVE, STE 601, EVERETT, WA. FILE NO. 4229-2191354 WITH A COMMITMENT DATE OF JANUARY 21, 2014.

PARCEL A:
THE NORTH 9 INCHES OF LOT 23, AND ALL OF LOT 24, BLOCK 763, THE EVERETT LAND COMPANY'S FIRST ADDITION TO EVERETT, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 20, IN SNOHOMISH COUNTY, WASHINGTON.

PARCEL B:
LOTS 25 AND 26, BLOCK 763, THE EVERETT LAND COMPANY'S FIRST ADDITION TO EVERETT, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 20, IN SNOHOMISH COUNTY, WASHINGTON.

PARCEL C:
LOTS 27, 28 AND 29, BLOCK 763, THE EVERETT LAND COMPANY'S FIRST ADDITION TO EVERETT, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 20, IN SNOHOMISH COUNTY, WASHINGTON.

PARCEL D:
LOT 30, BLOCK 763, THE EVERETT LAND COMPANY'S FIRST ADDITION TO EVERETT, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 20, IN SNOHOMISH COUNTY, WASHINGTON.

PARCEL E:
LOTS 31 AND 32, BLOCK 763, THE EVERETT LAND COMPANY'S FIRST ADDITION TO EVERETT, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 20, IN SNOHOMISH COUNTY, WASHINGTON.

TAX PARCEL NUMBERS: 004390-763-023-00, 004390-763-025-00, 004390-763-027-00, 004390-763-030-00 AND 004390-763-031-00
SITUS ADDRESS: 3204, 3206 AND 3214 BROADWAY AVE, EVERETT, WA 98201

TITLE REPORT SPECIAL EXCEPTIONS
SCHEDULE B-SECTION II
PART TWO:
ANY POLICY WE ISSUE WILL HAVE THE FOLLOWING EXCEPTIONS UNLESS THEY ARE TAKEN CARE OF TO OUR SATISFACTION. THE PRINTED EXCEPTIONS AND EXCLUSIONS FROM THE COVERAGE OF THE POLICY OR POLICIES ARE AVAILABLE FROM THE OFFICE WHICH ISSUED THIS COMMITMENT. COPIES OF THE POLICY FORMS SHOULD BE READ:

1. LIEN OF THE REAL ESTATE EXCISE TAX AND SURCHARGE UPON ANY SALE OF SAID PREMISES, IF UNPAID, AS OF THE DATE HEREIN, THE EXCISE TAX RATE FOR THE CITY OF EVERETT IS AT 1.78% LEVY/AREA CODE: 00010

ITEMS 2 THROUGH 6 REFER TO TAXES AND ASSESSMENTS AND ARE NOT SHOWN HEREON.

7. LIEN FOR WATER/SEWER CHARGES IN FAVOR OF CITY OF EVERETT:

ACQUIT:
AMOUNT: UNION BANK NA \$385.00
RECORDED: MAY 01, 2013
RECORDING INFORMATION: 201305010720
AFFECTS: PARCEL C

8. EVIDENCE OF THE AUTHORITY OF THE OFFICERS OF AMERICAN PROPERTY DEVELOPMENT, INC., TO EXECUTE THE FORTHCOMING INSTRUMENT, COPIES OF THE CURRENT ARTICLES OF INCORPORATION, BY-LAWS AND CERTIFICATIONS OF APPROPRIATE RESOLUTIONS SHOULD BE SUBMITTED TO CLOSING.

9. RIGHTS OR INTERESTS OF PERSONS IN POSSESSION, AND RIGHTS OR INTERESTS THAT COULD BE LEARNED BY MAKING INQUIRY OF A PERSON IN POSSESSION; INCLUDING ANY CLAIM BY A PREVIOUS OWNER, OR PERSON CLAIMING THROUGH A PREVIOUS OWNER.

10. UNRECORDED LEASEHOLDS, IF ANY, RIGHTS OF VENDORS AND SECURITY AGREEMENT ON PERSONAL PROPERTY AND RIGHTS OF TENANTS, AND SECURED PARTIES TO REMOVE TRADE FIXTURES AT THE EXPIRATION OF THE TERM.

11. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, FENCE LINE/BOUNDARY DISCREPANCIES, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY SHORT PLAT OR PLAT OF THE EVERETT LAND COMPANY'S FIRST ADDITION TO EVERETT RECORDED IN VOLUME 3 OF PLATS, PAGE(S) 20.

TABLE A - NOTES

ITEM 1: ALL 4 PROPERTY CORNERS WERE SET AS NOTED ON MAP.

ITEM 2: ADDRESSES: 3204, 3206 AND 3214 BROADWAY AVE, EVERETT, WA 98201 AND ARE SHOWN ON MAP AS MARKED ON BUILDING AND MATCHES COUNTY RECORDS.

ITEM 3: FLOOD ZONE CLASSIFICATION: ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 530061C1030F (PANEL 1030 OF 1575) WITH A MAP REVISION DATE OF SEPTEMBER 16, 2005.

ITEM 4: GROSS LAND AREA: 27,078.5 SQUARE FEET (0.62 ACRES)

ITEM 5: VERTICAL RELIEF INFORMATION IS FROM A GROUND SURVEY, CONTOUR INTERVAL IS 2', DATUM IS NAVD83. THE ORIGINATING BENCHMARK IS SHOWN ON THE MAP.

ITEM 6: SETBACK, HEIGHT, AND LOT COVERAGE RESTRICTIONS FOR ZONE BMU (BROADWAY MIXED USE) - ACCORDING TO CITY OF EVERETT ZONING CODE, TO BE VERIFIED BY INSURER.

BUILDING SETBACKS: NONE (ALL GROUND FLOOR RESIDENTIAL UNITS SHALL BE SETBACK AT LEAST 10 FEET FROM THE R-O-W; OR MAY BE SETBACK 5 FEET IF ALL LIVING UNITS WITH WINDOWS HAVE A FLOOR ELEVATION OF AT LEAST 3 FEET ABOVE THE SIDEWALK GRADE TO PROVIDE FOR INCREASED PRIVACY)
MAXIMUM BUILDING HEIGHT: 85 FEET
FLOOR SPACE AREA RESTRICTIONS: NONE

ITEM 7(a): EXTERIOR DIMENSIONS OF BUILDING AT GROUND LEVEL: SHOWN ON MAP

ITEM 7(b)(1): SQUARE FOOTAGE OF THE EXTERIOR FOOTPRINT OF ALL BUILDINGS AT GROUND LEVEL: SHOWN ON MAP

ITEM 7(c): MEASURED HEIGHT OF ALL BUILDINGS ABOVE GRADE. THE POINT OF MEASUREMENT IS SHOWN ON MAP

ITEM 8: SUBSTANTIAL FEATURES - SHOWN ON MAP

ITEM 9: STRIPING AS SHOWN, NUMBER OF PARKING SPACES: 17 (NUMBERS ARE NOT MARKED ON GROUND)

ITEM 10(a): NO DIVISION OR PARTY WALLS OBSERVED ON SITE.

ITEM 11(a)(b): OBSERVED EVIDENCE OF UTILITY LOCATIONS ARE SHOWN ON MAP. APPLIED PROFESSIONAL SERVICES CO MARKED THE UTILITIES ON THE GROUND. SOME UNDERGROUND CONNECTIONS COULD NOT BE OBSERVED.

ITEM 13: NAMES OF ADJOINING OWNERS OF PLATTED LANDS ACCORDING TO PUBLIC RECORDS: SHOWN ON MAP.

ITEM 14: DISTANCE TO THE NEAREST INTERSECTING STREET, SHOWN ON MAP.

ITEM 16: THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

ITEM 17: CHANGES IN STREET RIGHT OF WAY LINES UNKNOWN. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

ITEM 18: NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

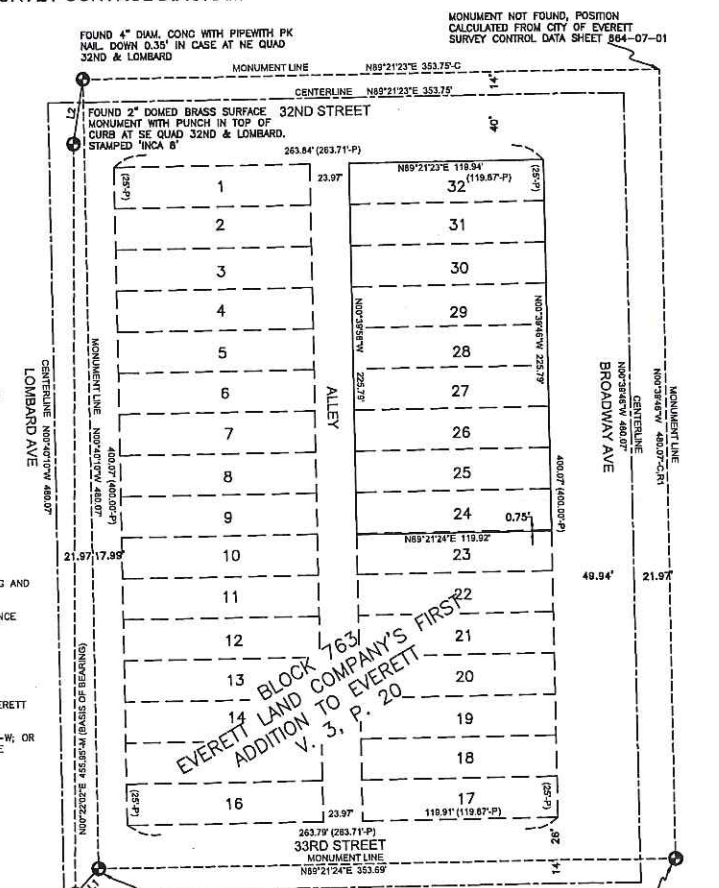
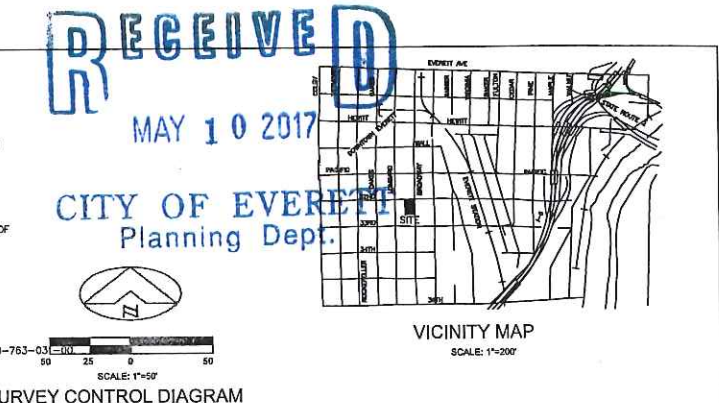
ITEM 19: NO EVIDENCE OF WETLAND AREAS AS DELINEATED BY APPROPRIATE AUTHORITIES.

ITEM 20(a): THERE ARE NO OFFSITE EASEMENTS OR SERVITUDES BENEFITING THE SURVEYED PROPERTY THAT WERE DISCLOSED IN THE RECORD DOCUMENTS PROVIDED TO THIS SURVEYOR.

FLOOD ZONE DESIGNATION
ZONE X AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN
FLOOD INSURANCE RATE MAP: SNOHOMISH COUNTY, WASHINGTON AND INCORPORATED AREAS
PANEL 1030 OF 1575
COMMUNITY: CITY OF EVERETT - NUMBER 550164
PANEL NO. 1030, SUFFIX P
MAP NUMBER: 550164C1030F
MAP REVISION: SEPTEMBER 16, 2005

SURVEYOR'S CERTIFICATION
TO FIRST AMERICAN TITLE INSURANCE COMPANY, AND UNION BANK, N.A. SUCCESSOR-IN-INTEREST TO THE FDIC AS RECEIVER FOR FRONTIER BANK.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND NSPS, AND INCLUDES ITEMS 1-5, 6(B), 7(A), 7(B-1), 7(C), 8, 10, 11(A), 11(B), 13-14 AND 16-20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 1, 2014.

SIGNATURE _____
MATTHEW J. SCHNEIDERS
REGISTRATION NO. 32441
DATE: _____



LEGEND

△ SET MAG NAIL & WASHER STAMPED "ASPI 32441" ON 2-27-14
● SET 24" X 1/2" REBAR W/RED PLASTIC CAP STAMPED "ASPI 32441" ON 2-27-14
FF FINISH FLOOR ELEVATION
M = MEASURED
C = CALCULATED
CL = CENTERLINE
CLF = CHAIN LINK FENCE

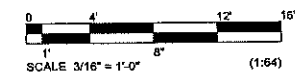
○ FOUND REBAR AS NOTED
● FOUND MONUMENT AS NOTED

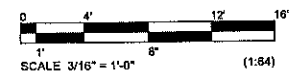
SDMH DRAINAGE MANHOLE
CB CATCH BASIN
AD AREA DRAIN
WV WATER VALVE
WM WATER METER

SSMH SEWER MANHOLE
TSB TRAFFIC CONTROL BOX
PP POWER POLE
LP LIGHT POLE
GV GAS VALVE
P OVERHEAD POWER
UGR UNDERGROUND POWER

CONCRETE PAVEMENT
SIGN
EX MAIL BOX
EX GUY WIRE
EX CLEANOUT
GAS METER

ALTA/ACSM LAND TITLE SURVEY
for
AMERICAN PROPERTY DEVELOPMENT, INC.
A PORTION OF THE NW1/4, NW1/4 OF SEC. 29, TWP. 29 N., RGE. 5 E., WM.
CITY OF EVERETT
SNOHOMISH COUNTY, WASHINGTON
A.S.P.I. (ALPHA SUBDIVISION PROS, INC.) LAND SURVEYORS
4532-B EVERGREEN WAY, EVERETT, WA 98203 (425) 252-1884 PREP. 3-1-14
REV. 3-28-14
214022.DWG





#	DATE	DESCRIPTION
	02-19-2026	Check out

[illegible]

PROJECT TITLE

Broadway Ave. & 32nd st.
Apartments 140

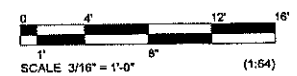
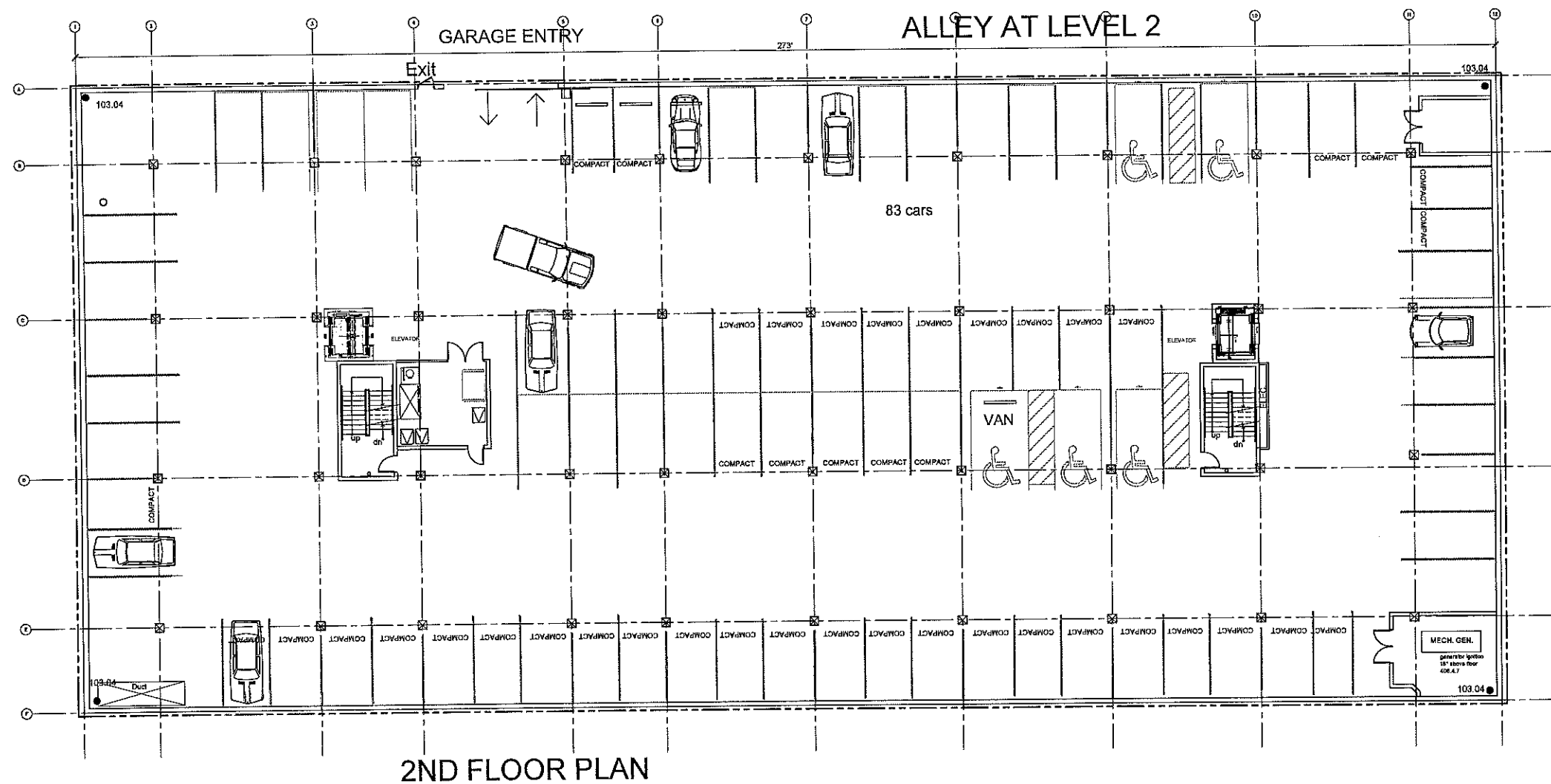
EVERETT, WASHINGTON

Floor Plans

GC

SHEET NUMBER

A3.3



[illegible]

PROJECT TITLE

Broadway Ave. & 32nd st.
Apartments 140

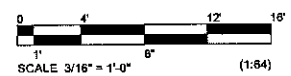
EVERETT, WASHINGTON

Floor Plans

ORANGE SET
GC

SHEET NUMBER

A3.4

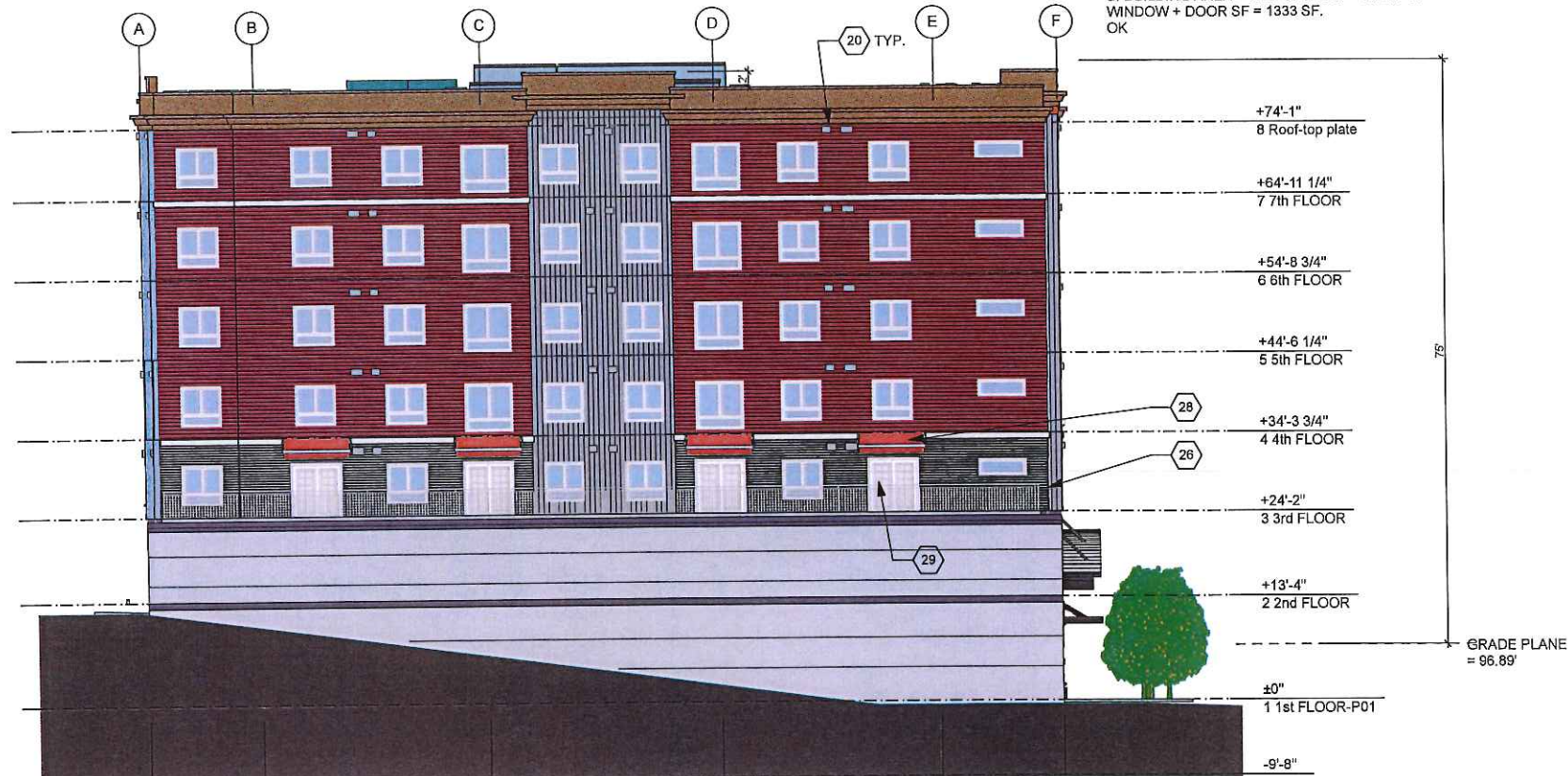


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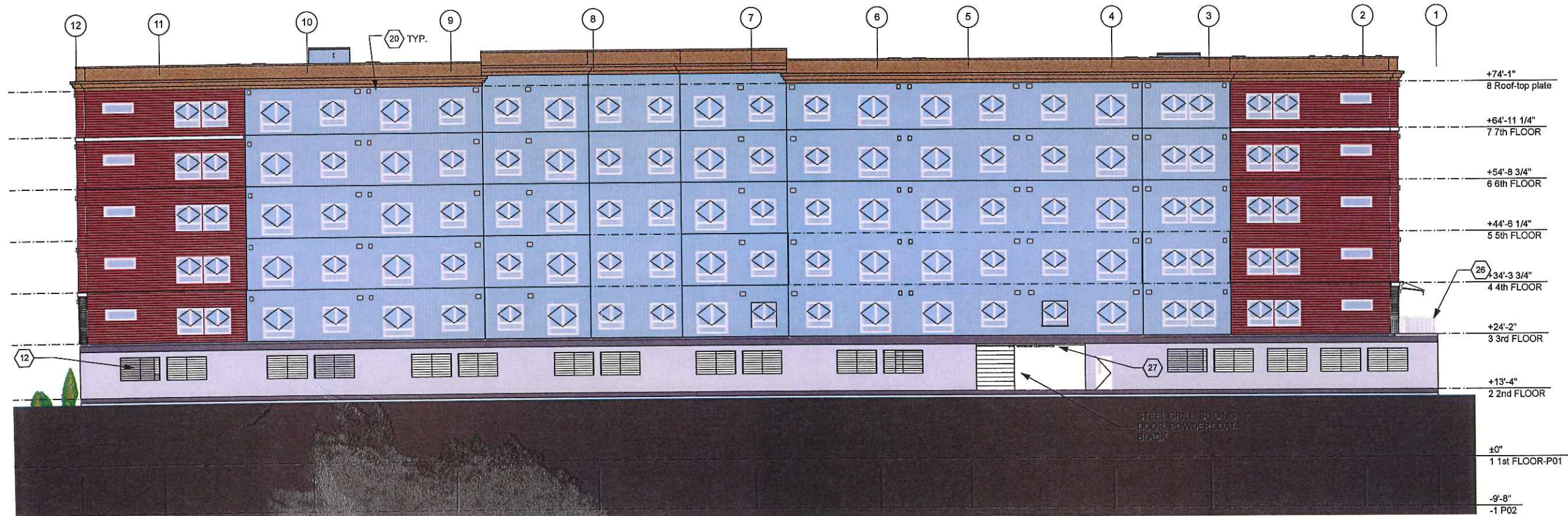
Exterior Elev. Keynotes -
A5.1 & A5.2

- | | | | |
|----|---|----|--|
| 1 | METAL SIDING, TYPICAL | 27 | "8"-2 MAXIMUM CLEARANCE" SIGN, CONTRASTING 8" LETTERS, HANGING SIGN, YELLOW WITH BLACK LETTERS |
| 2 | LOUVERED VENT - 17'-6 x 4'-6. VERIFY ROUGH OPENING REQUIRED FOR ALL VENTS BEFORE BUILDING WALL. | 28 | SURFACE MOUNTED AWNING, TYPICAL |
| 3 | LOUVERED VENT, 8" x 8" | 29 | SLIDING DOOR @ 3rd FLOOR LEVEL, TYPICAL |
| 4 | BUILDING SIGN | | |
| 5 | LOUVERED VENT, 4' x 1' | | |
| 6 | BUILDING CANOPY, SEE SHEET A7.4 | | |
| 7 | BUILDING CANOPY, SEE SHEET A7.2 | | |
| 8 | PARAPET, SEE DETAIL T7/A7.1 | | |
| 9 | SIGNAGE, "ELECTRICAL VAULT ROOM" BY UTILITY DISTRICT ON DOOR | | |
| 10 | GENERATOR ROOM LOUVER, 8' x 4'-8" | | |
| 11 | LOUVERED VENT, 1' x 8" | | |
| 12 | METAL SECURITY GRILLS, 8' x 4'-6 TYPICAL. SEE DETAIL 17/A10.5 | | |
| 13 | HANDICAP ACCESS SIGNAGE ON COLUMN. SEE SHEET A 10.1 | | |
| 14 | BUILDING LIGHTING, SEE REFLECTED CEILING PLANS AND ELECTRICAL DRAWINGS | | |
| 15 | INSTALL SIGN ON DOOR READING "FIRE CONTROL ROOM" | | |
| 16 | SURFACE MOUNTED KNOX BOX | | |
| 17 | FIRE DEPARTMENT CONNECTION (FDC) | | |
| 18 | BUILDING ADDRESS "3214" SIGN, SEE DETAIL SHEET A10.1 | | |
| 19 | "7'-6 MAXIMUM CLEARANCE" SIGN, CONTRASTING 8" LETTERS, VINYL OR PAINT | | |
| 20 | VENT COVER: FOR DRYER, KITCHEN, BATH FANS, COLOR TO MATCH SURROUNDING SIDING. SEE DETAIL 15/A10.5 | | |
| 21 | BRONZE VINYL WINDOWS, TYPICAL | | |
| 22 | ENTRY CALL BOX | | |
| 23 | EXHAUST VENT, SEE M2.1 | | |
| 24 | METAL FRAMED WINDOWS, SEE PLANS AND SHEET A9.1 | | |
| 25 | STOREFRONT WINDOWS, SEE PLANS AND SHEET A9.2 | | |
| 26 | DECK RAIL, SEE SHEET A10.5 | | |

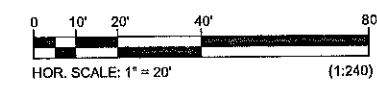
TABLE 705.8 OPENING CALCULATIONS:
25% ALLOWED
S. BUILDING AREA = 5858 SF x 25% = 1464.5 SF
WINDOW + DOOR SF = 1333 SF.
OK



1 S ELEVATION
SCALE: 3/32" = 1'-0"



2 W ELEVATION
SCALE: 3/32" = 1'-0"



PROJECT ARCHITECT & CIVIL ENGINEER
APD
American Property Development, Inc.
116-1105 Avenue NE Suite 500
Bellevue, WA 98004
Tel: 425-455-2433
Fax: 425-709-7214

LEGEND:

EXISTING	PROPOSED	ITEM
		CATCH BASIN
		CLEANOUT
		CURB INLET
		ELECTRICAL ROOM
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		FIRE RISER ROOM
		FLOW ARROW
		RETAINING WALL
		SANITARY SEWER MANHOLE
		SPOT ELEVATION
		STORM DRAIN MANHOLE
		SIGN
		POWER POLE
		LIGHT POLE

GENERAL GRADING NOTES:

- PRIOR TO CONTRACTOR MOBILIZING, COORDINATE WITH PSE AND REVIEW POTHOLE INFORMATION ON HIGH PRESSURE GAS LINE IN 32ND STREET. CONTACT MARTY PUTENEY AT 425-754-8053. MARTY TO BE PRESENT ON SITE FOR ANY CONSTRUCTION ACTIVITY WITHIN 10 FEET OF HIGH PRESSURE GAS LINE.
- PRIOR TO MOBILIZATION, CONTRACTOR TO REVIEW POTHOLE INFORMATION ON WATERLINE, AND POWERLINE AT NW CORNER OF SITE. PRIOR TO MOBILIZATION CONTRACTOR TO REVIEW POTHOLE INFORMATION ON UTILITY DUCT BANK, GAS LINE AND POWER LINE AND ESTABLISH DEPTHS OF UTILITIES IN BROADWAY AVENUE IN THE AREA OF THE SANITARY SEWER BORING.
- CONTRACTOR TO FOLLOW RECOMMENDATIONS LISTED IN THE MOST CURRENT GEOTECHNICAL SOILS REPORT BY EARTH SOLUTIONS NW. THIS INCLUDES RECOMMENDATIONS ON PAVING, GRADING, TRENCHING, PIPE BEDDING, CUT, FILL, AND BACKFILL. SHOULD ANY CONFLICT ARISE BETWEEN THE REPORT AND THESE GRADING PLANS, THE ENGINEER OF RECORD SHALL BE CONTACTED AND THE REPORT RECOMMENDATIONS SHALL BE FOLLOWED.
- PROPOSED CONTOURS ARE APPROXIMATE AND SHOULD NOT BE USED FOR CONSTRUCTION STAKING. ONLY SPOT ELEVATIONS SHOULD BE USED FOR STAKING.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND THE PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT THE POINT OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. IF FIELD CONDITIONS DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT RESPONSIBILITY FOR ALL COST ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- SITE GRADING AROUND BUILDING MUST SLOPE AWAY AT 1.8% MIN TO PROVIDE DRAINAGE AWAY FROM BUILDING.

CITY OF EVERETT DRAINAGE NOTES:

- NO PART OF THE DRAINAGE SYSTEM SHALL BE COVERED, CONCEALED OR PUT INTO USE UNTIL IT HAS BEEN INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF EVERETT
- ALL WORK AND MATERIAL SHALL CONFORM TO THE CITY OF EVERETT STANDARDS AND STANDARD SPECIFICATIONS OF WSDOT/APWA.
- APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATIONS AND TO AVOID DAMAGE TO ANY ADDITIONAL UTILITIES SHOWN. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
- ALL STORM SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE STAKED BY SURVEY FOR LINE AND GRADE PRIOR TO STARTING CONSTRUCTION.
- ALL CATCH BASIN GRATES MUST BE STENCILED OR STAMPED "DUMP NO WASTE. DRAINS TO RIVER."

GENERAL STORM DRAIN NOTES:

- PIPE MATERIALS, JOINTS, AND PROTECTIVE TREATMENT SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN SECTION 9-05 OF THE WSDOT/APWA STANDARD SPECIFICATIONS.

THE FOLLOWING MATERIALS ARE ALLOWED FOR USE IN THE CITY,
-DUCTILE IRON PIPE
-PVC PIPE (SDR35, ASTM D3034 WITH 3' COVER MINIMUM
-CORRUGATED HIGH DENSITY POLYETHYLENE PIPE, WITH SMOOTH INTERIOR
- COUPLING BANDS SHALL BE OF THE SAME MATERIAL AS THE PIPE.
- 6 INCHES MINIMUM VERTICAL AND 3 FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN OUTSIDE SURFACES SHALL BE PROVIDED BETWEEN STORM DRAIN PIPES AND OTHER UTILITY PIPES AND CONDUITS.
- ALL PVC CONNECTIONS TO CATCH BASINS OR MANHOLES SHALL BE MADE BY GROUTING IN AN APPROVED MANHOLE ADAPTER INTO WHICH THE PVC PIPE IS INSERTED.

GRADING AND STORM DRAIN KEYNOTES:

- STORM DETENTION VAULT IN BUILDING. SEE STRUCTURAL PLANS SECTION 2 SHEET S6.01. SEE PLUMBING PLANS FOR PUMPS MANIFOLDS AND OVERFLOW PIPE, PUMP SCHEDULE P6.01 AND DETAIL 2 P6.00.
- TYPICAL TRENCHING, BEDDING AND COMPACTION, DETAILS 1,2,3 SHT C4.2
- CONNECT TO PROPOSED STORM SYSTEM IN RIGHT OF WAY. SEE SHEET C8.4 INSTALL PVC TO D.I. TRANSITION COUPLING.
- SEE TYPICAL PERIMETER SOIL NAIL WALL DRAINAGE DETAIL, SHT C4.2, DETAIL 4
- STORM DRAIN PENETRATION THROUGH FOUNDATION WALL, SEE SHEET C4.2, DETAIL 5
- NOT USED
- NOT USED
- SANITARY SEWER PENETRATION THROUGH FOUNDATION WALL SEE SHEET C4.2, DETAIL 6
- WATER PENETRATION THROUGH FOUNDATION WALL SEE SHEET C4.2, DETAIL 7

BENCH MARK
CITY OF EVERETT SURVEY CONTROL
POINT "INCA 7", A 2" BRASS DISK
STAMPED "INCA 7", SET IN A DRILL
HOLE IN THE 13" WIDE SLOPED CONC.
CURB ON THE EAST SIDE OF THE
ISLAND IN THE CENTER OF
INTERSECTION OF 33RD ST AND
LOMBARD AVE (EL=115.80)

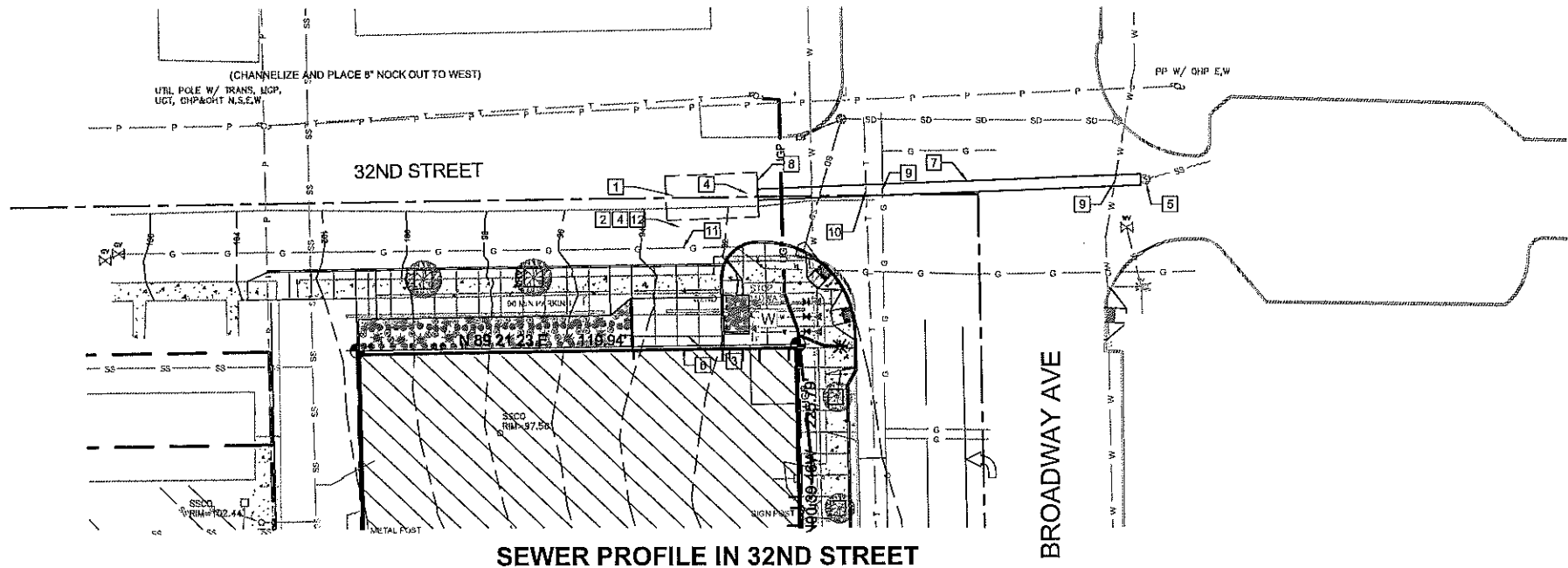


APPROVED FOR CONSTRUCTION
BY: _____ DATE: _____
Engineering: _____
APPROVAL EXPIRES: _____

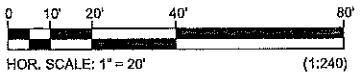
BROADWAY AVENUE
APARTMENTS
EVERETT, WA

GRADING AND
DRAINAGE PLAN

DESIGN & DRAWN BY: GT
CHECKED BY: _____
SHEET NUMBER
C4.1
CIVIL SHEET 30 OF 30 TOTAL



SEWER PROFILE IN 32ND STREET



LEGEND:

EXISTING	PROPOSED	ITEM
[Symbol]	[Symbol]	CATCH BASIN
[Symbol]	[Symbol]	CLEANOUT
[Symbol]	[Symbol]	CURB INLET
[Symbol]	[Symbol]	ELECTRICAL ROOM
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	FIRE RISER ROOM
[Symbol]	[Symbol]	FLOW ARROW
[Symbol]	[Symbol]	RETAINING WALL
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	STORM DRAIN MANHOLE
[Symbol]	[Symbol]	SIGN
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	LIGHT POLE

LINE TYPE LEGEND

[Symbol]	[Symbol]	96	96	CONTOUR
[Symbol]	[Symbol]	10+00	10+00	EASEMENT/ROW
[Symbol]	[Symbol]			FENCE
[Symbol]	[Symbol]			PROPERTY LINE
[Symbol]	[Symbol]			ROAD CL STATIONING
[Symbol]	[Symbol]	ST	SS	STORM DRAIN
[Symbol]	[Symbol]	EX SS	EX W	SANITARY SEWER
[Symbol]	[Symbol]			WATER LINE

ABBREVIATIONS

CB	STORM CATCH BASIN
EX	EXISTING
SD	STORM MANHOLE
YD	YARD DRAIN

SANITARY SEWER KEYNOTES:

- 48"-DIAM TYPE 1 MANHOLE COE 605A, SEE DETAIL 1 SHEET C8.12 WITH HINGED FRAME AND COVER, COE 807A. SEE DETAIL 4, C8.12. CHANNELIZE BOTTOM STRUCTURE TO WEST. PLACE 8" NOCK OUT ON WEST SIDE STRUCTURE FOR FUTURE USE.
- SIDE SEWER CONNECTION, SEE DETAIL 2, SHEET C8.12
- SEWER CLEANOUT, SEE TYPE 'C' SIDE SEWER CONNECTION, DETAIL 2, SHEET C8.12 CONNECT 4" LINE FROM TRENCH DRAIN WITH 8x4" WYE SEE C8.7 DETAIL 1.
- PVC, SDR 35
- REPLACE EXISTING MANHOLE FRAME AND COVER WITH HINGED FRAME AND COVER, COE 607A. SEE DETAIL 4, SHEET C8.12
- SEWER LATERAL CONTINUED ON SITE, SEE BUILDING PLUMBING PLANS FOR CONTINUATION.
- BORE CASE UNDER BROADWAY AVENUE, SEE CASING DETAIL COE 614 DETAIL 4, C8.13
- APPROXIMATE BORING PIT 25' x 12', 18' DEEP OR AS REQUIRED.
- CONTRACTOR TO SEE POTHOLE INFORMATION BEFORE MOBILIZATION
- CONTRACTOR TO SEE POTHOLE INFORMATION FOR LOCATION OF TOP AND BOTTOM OF UTILITY BANK.
- CONTRACTOR TO SEE POTHOLE INFORMATION FOR LOCATION OF HIGH PRESSURE GAS LINE. PRIOR TO CONTRACTOR MOBILIZING. CONTACT MARTY PUTENEY AT 425-754-8053. MARTY TO BE PRESENT ON SITE FOR ANY CONSTRUCTION ACTIVITY WITHIN 10 FEET OF HIGH PRESSURE GAS LINE.
- SEE TYPICAL TRENCH SECTION DETAIL 1,2,3 SHEET C8.13

CITY OF EVERETT SEWER NOTES:

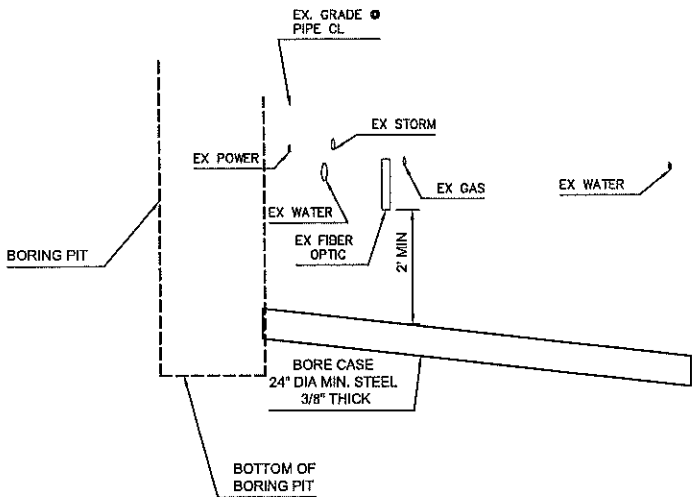
- ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF EVERETT STANDARDS AND WSDOT/APWA STANDARD SPECIFICATIONS.
- NO PART OF THE SANITARY SEWER SYSTEM SHALL BE COVERED, CONCEALED OR PUT INTO USE UNTIL IT HAS BEEN TESTED, INSPECTED, AND APPROVED BY THE CITY INSPECTOR.
- APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATIONS AND TO AVOID DAMAGE TO ANY ADDITIONAL UTILITIES NOT SHOWN. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
- ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE STAKED BY SURVEY FOR LINE AND GRADE PRIOR TO STARTING CONSTRUCTION.

GENERAL SEWER NOTES:

- ALL SEWER CARRIER PIPE SHALL BE SDR 35, PVC SEWER PIPE UNLESS IDENTIFIED OTHERWISE.
- ACCESS TO EXISTING SANITARY SEWER MAINS WILL NOT BE PERMITTED UNTIL ALL NEW SEWER CONSTRUCTION HAS BEEN APPROVED AND ACCEPTED. NEW SEWER CONSTRUCTION SHALL BE ISOLATED FROM THE EXISTING SYSTEM.
- SUBCONTRACTOR TO SUPPLY SPECIALTY TRENCH BOXES WITH BORING ARCHES FOR BORING PIT.
- CONTRACTOR TO SUPPLY CARRIER PIPE TO BE PLACED INSIDE OF CASING. BORING SUBCONTRACTOR TO ASSEMBLE SKIDS AND PLACE PIPE IN CASING.
- SUBCONTRACTOR TO FILL ANNULAR SPACES BETWEEN CARRIER PIPE AND CASING WITH SAND OR SAND SLURRY. MAINTAIN CARRIER PIPE ALIGNMENT AND SLOPE.

NOTES:

- EXISTING UTILITIES SHOWN IN PROFILE ARE DRAWN AT APPROXIMATE DEPTHS. CONTRACTOR TO REVIEW POTHOLE INFORMATION TO VERIFY DEPTH BEFORE INSTALLATION OF SEWER LINE.



EX. GRADE PIPE CL (TYP)

BENCH MARK

CITY OF EVERETT SURVEY CONTROL POINT INCA 7, A 2" BRASS DISK STAMPED INCA 7, SET IN A DRILL HOLE IN THE 13" WIDE SLOPED CONC CURB ON THE EAST SIDE OF THE ISLAND IN THE CENTER OF INTERSECTION OF 33RD ST AND LOWARD AVE (EL=115.80)



Call 811 a min. 2 days before you dig. Contractor/developer is responsible for locating and protecting all existing utilities.

APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____
Engineering Plans Engineer
APPROVAL EXPIRES: _____

BROADWAY AVENUE
APARTMENTS

EVERETT, WA

CIVIL OFF-SITE
SANITARY SEWER PLAN
AND PROFILE

DESIGN & DRAWN BY

GT

CHECKED BY

GT

SHEET NUMBER

C8.11

CIVIL SHEET 30 OF 30 TOTAL